



**TOWN OF PENFIELD
PLANNING DEPARTMENT APPLICATION FORM**

APPLICATION TYPE

- Sketch Plan
 Preliminary/Final Site Plan
 Preliminary/Final Subdivision
 Administrative Site Plan
 Conditional Use Permit

Reviewed by:

- Planning Board
 Town Board
 Planning Dept. (Admin. Only)

PROJECT INFORMATION

Project Name: Plank Road - Devlin Residence
 Project Address: 1390 Fairport Nine Mile Point Road
 City, State, ZIP: Penfield, NY 14580
 Project Description: 1 lot si rgle f ami ly site plan

Parcel Tax ID#: 095.03-1-45.5
 Zoning District: RA-2 Project Size (acres): +/- 3.5 AC

Owner(s) Name: Bruce Devlin
 Mailing Address: 38 Legacy Circle, Penfield, NY 14526
 Email: _____
 Phone: _____

Applicant Name: Bruce Devlin
 Address: 38 Legacy Circle, Penfield, NY 14526
 Email: _____
 Phone: _____

Applicant Signature: *Bruce Devlin* Date: April 14, 2021

Agent/Engineer: BME Associates - Martin Janda
 Company: BME Associates
 Address: 10 Lift Bridge Lane East
 Email: mjanda@bmepec.com
 Phone: (585) 377-7360

APPLICATION FEES

Planning Review Fee	\$ 250.00
Engineering Review Fee	\$ 0.00
Check #	Total \$ 250.00

- See *Required Fees Table* for \$\$ Amounts

FOR OFFICE USE ONLY

Application # 21P-0013 Date Received: 4/19/21

April 19, 2021

Planning Board
Town of Penfield
3100 Atlantic Avenue
Penfield, NY 14526

Re: Plank Road Site Plan Application

2775

Dear Planning Board Members:

On behalf of the applicant and owner, Mr. Bruce Devlin, we submit the enclosed plans and application materials for the Planning Department's consideration of Administrative Site Plan approval for the property located on Plank Road (tax parcel 095.03-1-45.5). We have enclosed the following application materials for your review:

- Four (4) copies of this Letter of Intent (1 original & 3 copies)
- Four (4) copies of the Preliminary / Final Site Plans
- Four (4) copies of Administrative Site Plan Application Form (1 original & 3 copies)
- Four (4) copies of Owner / Applicant Authorization to Make Application Form (1 original & 3 copies)
- Four (4) copies of Short Form EAF (1 original & 3 copies)
- Four (4) copies of Factor for Consideration
- \$250 Application for Administrative Site Plan Review

The property is zoned RA-2 Single Family Residential and is located on the southeast corner of the intersection of Plank Road (County Route 11) and Five Mile Point Road (NYS Route 250). The site plans have been prepared to be in basic compliance with the Town Code and no variances from the Town of Penfield Zoning Ordinance are required.

The site plans includes one (1) single-family home and a new driveway, water service from an existing watermain on the south side of Plank Road, and a proposed on-site private wastewater treatment system (WWTS). The total site disturbance is proposed to be more than one (1) but less than five (5) acres; therefore, permit coverage is required from the NYSDEC general permit for construction activities, and we have prepared an erosion and sediment controls plan; no post-construction stormwater practices are required. The Construction Erosion Control Plans have been prepared to be implemented through construction to control on-site stormwater runoff controls to the anticipated site disturbance.

The plans will be submitted to the Monroe County Department of Public Health (MCDPH) for the proposed WWTS, the Monroe County Water Authority (MCWA) for the proposed water service and the Monroe County Department of Transportation (MCDOT) for the driveway access. The following permits/approvals are required for the site development as proposed:

- Site Plan Approval – Town Planning Department
- MCDPH – WWTS Approval
- MCWA – Water Service Approval
- MCDOT – Driveway Access Approval
- NYSDEC Construction Stormwater Permit (SPDES General Permit) for site disturbing greater than 1 acre of land area.
- Local/Town Building Permits.

This site contains the presence of stream EPODs and NYSDEC 500' buffer EPOD, as well as a locally delineated wetland area. The proposed site development has no adverse effects to either the stream on-site or the wetland area, with no proposed disturbance in either areas.

Please contact us if you require any additional information prior to the meeting.

Thank you for your consideration.

Very truly yours,
BME ASSOCIATES



Jonathan W. Jones

/JWJ

Encl.

c: Bruce Devlin

SITE NOTES:

- APPLICANT: BRUCE DEVLIN, 38 LEICHDY CIRCLE, PENFIELD, NY 14528
- EXISTING ZONING IS RA-2.
- PROPOSED USE: PROPOSED RESIDENTIAL SINGLE FAMILY HOUSE.
- APPLICABLE DEVELOPMENT STANDARDS PROPOSED ARE AS FOLLOWS:

REQUIRED	PROPOSED
MINIMUM LOT AREA	2 ACRES. ± 3.5 ACRES
MINIMUM LOT WIDTH AT BUILDING LINE	200 FT. ± 285 FT.
FRONT SETBACK	50 FT. ± 211 FT.
REAR SETBACK	30 FT. ± 285 FT.

- PER CODE SECTION 250-5.1(f)(2), IN THE CASE OF CORNER LOTS, A FORTY-FOOT FRONT SETBACK SHALL BE PROVIDED ALONG THE FRONTAGE WHERE THE AUTHORIZED OFFICIAL HAS DETERMINED THE LOCATION OF THE FRONT OF THE RESIDENCE. A FIFTY-FOOT FRONT SETBACK SHALL BE PROVIDED ON THE ALTERNATE FRONTAGE.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF PENFIELD AND THE APPROPRIATE MONROE COUNTY AND NEW YORK STATE OR FEDERAL AGENCIES, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS. FOR DESCRIPTIVE AND SURVEY DATA ON THE CONTROL MONUMENTS, CALL THE MONROE COUNTY SURVEY OFFICE.
- THE DEVELOPER'S AND CONTRACTOR'S ATTENTION IS DIRECTED TO LOCAL LAW NO. 6 OF 1971 REGARDING LIABILITY INCURRED THROUGH DISTURBANCES OR DESTRUCTION OF GEOLOGIC SURVEY MONUMENTS.
- PER AVAILABLE INVENTORY MAPPING, THE PROPOSED SITE IMPROVEMENTS ARE NOT LOCATED WITHIN A 100 YEAR FLOODPLAIN OR REGULATED WETLAND.

UTILITY NOTES:

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF PENFIELD, THE APPROPRIATE AGENCIES (E.G. MONROE COUNTY WATER AUTHORITY, AND THE MONROE COUNTY HEALTH DEPARTMENT) UNLESS OTHERWISE NOTED.
- EXISTING UTILITIES SHOWN HEREIN WERE EXTRACTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE UPPO HOTLINE AT (800)862-7862 FOR STAKE-OUT OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE ANY CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REPAIRS AS REQUIRED TO MEET EXISTING CONDITIONS.
- ROOF RAINFALL LEADERS AND CELLAR INFILTRATION LINES SHALL NOT BE DIRECTLY DISCHARGED TO THE STATE/COUNTY HIGHWAY DRAINAGE DITCH OR STATE/COUNTY HIGHWAY STORM DRAIN.
- DOWNSPOUTS SHALL DISCHARGE ON SPLASH BLOCKS. FOUNDATION DRAINS SHALL DISCHARGE ON SPLASH BLOCKS VIA SUMP PUMPS.
- SEPTIC TANK SYSTEM EFFLUENT SHALL NOT INFILTRATE OR BE DISCHARGED TO THE STATE/COUNTY HIGHWAY DRAINAGE DITCH OR STATE/COUNTY HIGHWAY STORM DRAINS.
- LEACH LINES SHALL NOT CROSS WATER OR GAS LINES.
- ALL LATERALS OR SERVICES SHALL BE AS NOTED BELOW UNLESS OTHERWISE NOTED ON THE PLANS. WATER SERVICE - TO BE 1" COPPER FROM THE PUBLIC WATERMAIN TO THE CURB BOX AND 1/2" (TYPE K SOFT COPPER OR PC #4710) FROM THE CURB BOX TO THE HOUSE. ROOF LEADERS - TO BE 4" PVC SDR-21 FOOTER DRAIN - TO BE 4" PVC SDR-21

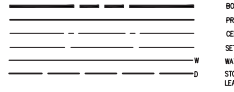
MODOT NOTES:

- HIGHWAY DRAINAGE ALONG THE COUNTY HIGHWAY MUST BE MAINTAINED. THE APPLICANT WILL BE RESPONSIBLE FOR ALL REQUIRED GRADING IN THE COUNTY RIGHT-OF-WAY. THE OWNER WILL PLACE A CURB AND TOP STORM GUTTER OF A SIZE DETERMINED BY THE MONROE COUNTY DIRECTOR OF TRANSPORTATION.
- AFTER MODOT APPROVES THIS PROJECT, A 136 HIGHWAY PERMIT AND A 238F PERMIT WILL BE REQUIRED. INSPECTION OF ALL CONSTRUCTION IN THE RIGHT-OF-WAY WILL BE A CONDITION OF THESE PERMITS.
- ALL MATERIALS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MONROE COUNTY DEPARTMENT OF TRANSPORTATION STANDARDS AND DETAILS IN EFFECT WHEN INSTALLED.
- ALL UTILITIES MUST BE BORED ACROSS THE COUNTY HIGHWAY.
- VEGETATION MUST BE REMOVED AND MAINTAINED ALONG THE PROPERTY FRONTAGE 10-15' BEHIND THE EDGE OF TRAVEL LANE, IN ORDER TO MAXIMIZE SIGHT DISTANCE.

1", 1/2" AND 2" WATER SERVICE LINE NOTES

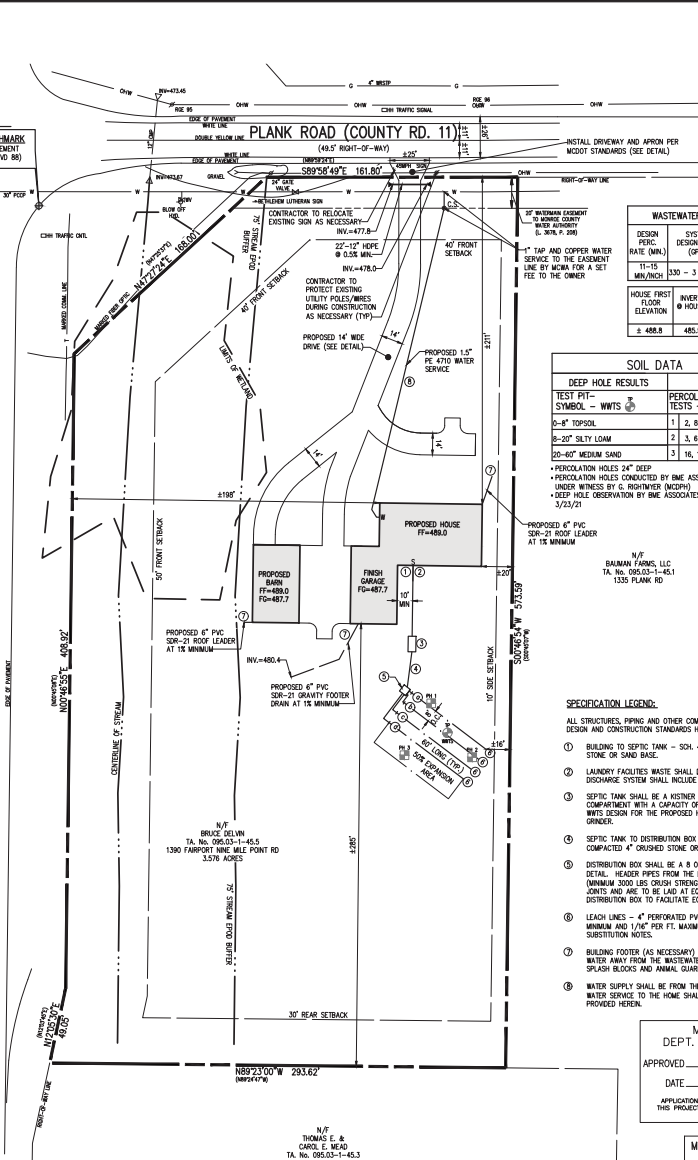
1. Water service lines shall be installed in accordance with the regulations and specifications of the Water Utility.
2. Water service lines shall have a minimum of 8" of soil cover from finished ground level and shall be installed in accordance with the regulations and specifications of the Water Utility.
3. Water service lines shall be installed in a trench that is at least 18" deep and shall be supported by a trench box or trench shields.
4. Water service lines shall be installed in a trench that is at least 18" deep and shall be supported by a trench box or trench shields.

LEGEND



PROJECT BENCHMARK
MAG NAIL IN PAINTMARK
ELEV=477.64 (NAD 83)

FAIRPORT NINE MILE POINT ROAD (N.Y.S. RT. 250)
(RIGHT-OF-WAY VARIANCE)
P.O.S. 2.140000



WASTEWATER TREATMENT SYSTEM DESIGN TABLE AND NOTES

DESIGN PER CAPITA RATE (GPD)	SYSTEM FLOW (GPD)	SEPTIC TANK (GAL)	LF FILE LENGTH (FT)	NO. OF LATERALS (FT)	LF FILE PROVIDED (FT)
11-15	1300 - 3 BEDROOM	1,250	207	60	4
16-20	1500 - 3 BEDROOM	1,500	207	60	4

SOIL DATA

TEST PIT - SYMBOL - WMTS	PERCOLATION TESTS - SYMBOL - WMTS
0-8" TOPSOIL	1 2, 6, 7 MIN.
8-20" SILTY LOAM	2 3, 6, 9, 9 MIN.
20-60" MEDIUM SAND	3 16, 11, 11 MIN.

SEPTIC NOTES:

- LEACH LINES SHALL NOT CROSS WATER OR GAS LINES.
- LAUNDRY WASTES SHALL BE DISCHARGED TO THE SEPTIC SYSTEM. CELLAR AND FOUNDATION DRAINS OF UNMAINTAINED BROODHENS SHALL DISCHARGE ONTO SPLASH BLOCKS OR DRAINOUT.
- ALL NON-WASTEWATER FLOWS ARE TO BE DIVERTED AWAY FROM THE SEPTIC SYSTEM.
- THE PROPOSED ABSORPTION FIELD AREA SHALL BE STAKED OUT TO PREVENT ENTRY OF VEHICLES AND MATERIALS. IF THIS AREA IS DISTURBED, NEW PERCOLATION TESTS MAY BE REQUIRED AND SEPTIC SYSTEM APPROVAL MAY BE REVOKED.
- ROOF TO GRADE IS REQUIRED IF THE DIFFERENCE BETWEEN THE PROPOSED GRADE AND TOP OF SEPTIC TANK EXCEEDS 12".
- THE AREA TO BE USED FOR THE WMTS SHALL NOT BE USED TO PARK VEHICLES EITHER BEFORE, DURING OR AFTER THE CONSTRUCTION OF THE WMTS. THE INTERIOR OF THE SEPTIC TANK SHALL NOT BE USED FOR THE CONSTRUCTION OF POOLS, SHEDS OR ANY OTHER STRUCTURES, TREES OR ANIMAL PASTURES. A MINIMUM OF 5' OF TOPSOIL SHALL BE PLACED ON TOP OF THE SYSTEM TO ENHANCE GRASS GROWTH AND GRATED TO SHEED SURFACE WATER AWAY FROM THE SYSTEM. THE DISTRIBUTION LINES SHALL BE INSTALLED AS SHOWN ON THE APPROVED PLAN.
- THE INSTALLATION OF THE WMTS SHALL BE REVIEWED BY THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH BEFORE IT IS BACKFILLED. THE INSTALLER SHALL GIVE WRITTEN NOTICE TO THE MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH FOR SUCH REVIEW.

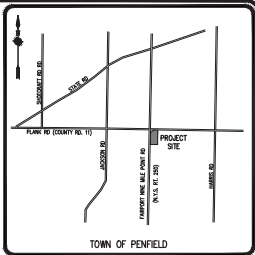
SPECIFICATION LEGEND:

- ALL STRUCTURES, PIPING AND OTHER COMPONENTS TO COMPLY WITH THE MONROE ON-SITE WASTEWATER TREATMENT SYSTEM DESIGN AND CONSTRUCTION STANDARDS HANDBOOK REQUIREMENTS.
- BUILDING TO SEPTIC TANK - 4" SCH. 40 PVC 1/4" PER FT. MINIMUM, INSTALLED ON A COMPACTED 4" CRUSHED STONE OR SAND BASE.
 - LAUNDRY FACILITIES WASTE SHALL DISCHARGE DIRECTLY TO THE SEPTIC TANK. IF A FORKED SYSTEM IS USED, THE SEPTIC SYSTEM SHALL INCLUDE A CHECK VALVE.
 - SEPTIC TANK SHALL BE A KISTNER PRODUCTS CONCRETE TANK OR EQUAL. THE TANK SHALL BE DUAL COMPARTMENT WITH A CAPACITY OF 1200 GALLONS WITH A MINIMUM LIQUID SURFACE AREA OF 34 SQ. FT. FOR THE WMTS DESIGN FOR THE PROPOSED HOME SITES. SEPTIC TANK SIZE ACCOUNTS FOR USE OF A KITCHEN GARBAGE GRINDER.
 - SEPTIC TANK TO DISTRIBUTION BOX - 4" SCH. 40 PVC AND LAD 1/2" PER FT. MINIMUM, INSTALLED ON A COMPACTED 4" CRUSHED STONE OR SAND BASE.
 - DISTRIBUTION BOX SHALL BE A 8" OUTLET MINIMUM, KISTNER PRECAST CONCRETE BOX OR EQUAL AND INSTALLED PER DETAIL. HEADER PIPES FROM THE DISTRIBUTION BOX TO PERFORATED DISTRIBUTION LINES SHALL BE SOLID 4" PVC (MINIMUM 3000 LBS CRUSH STRENGTH) @ 1/2" PER FT. MINIMUM OR 100 MINIMUM. ALL LINES ARE TO HAVE TIGHT JOINTS AND ARE TO BE LAD AT EQUAL SLOPES. HEADER PIPES SHALL HAVE SPEED LIMITERS INSTALLED IN THE DISTRIBUTION BOX TO FACILITATE EQUAL DISTRIBUTION OF SEPTIC TANK EFFLUENT.
 - LEACH LINES - 4" PERFORATED PVC PER ASTM D2729 (MINIMUM 3000 LBS CRUSH STRENGTH) @ 1/2" PER FT. MINIMUM AND 1/4" PER FT. MINIMUM. ALL LINES ARE TO HAVE TIGHT JOINTS. SEE GRASSLESS CHAMBER SUBSTITUTION NOTES.
 - BUILDING FOOTER (AS NECESSARY) AND ROOF DRAINAGE SYSTEMS (6" PVC, SDR 21 @ 15 MIN) SHALL DISCHARGE WATER AWAY FROM THE WASTEWATER TREATMENT SYSTEM AND TO THE LOW SIDE OF THE AREA TO BE DEVELOPED. SPLASH BLOCKS AND ANNING GUARDS SHALL BE PROVIDED AT ALL DISCHARGE POINTS.
 - WATER SUPPLY SHALL BE FROM THE PROPOSED CONNECTION TO THE 30" POOP. MONROE WATERMAIN. THE WATER SERVICE TO THE HOME SHALL BE INSTALLED IN CONFORMANCE WITH THE "PUBLIC WATER SERVICE LINE NOTES" PROVIDED HEREIN.

MONROE COUNTY DEPT. OF TRANSPORTATION
 NOT APPROVED
 This plan has not received final approval of roadway agencies. This plan is subject to revisions until all approvals are obtained and should not be used for construction purposes.

MONROE COUNTY DEPARTMENT OF PUBLIC HEALTH
 THESE PLANS FOR PRIVATE WASTEWATER TREATMENT FACILITY ARE HEREBY APPROVED SUBJECT TO ARTICLE 14 OF THE MONROE COUNTY SANITARY CODE.
 DIRECTOR OF PUBLIC HEALTH
 BY: PUBLIC HEALTH ENGINEER DATE:

SEE DETAIL SHEET, DRAWING 2775-03 FOR SEPTIC / WMTS DETAILS AND OTHER APPLICABLE SITE DETAILS



REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		

CONSTRUCTION PROCEDURES:

- HEAVY CONSTRUCTION EQUIPMENT SHALL NOT BE ALLOWED WITHIN THE AREA OF THE SYSTEM. THE ORIGINAL SOIL MUST BE LEFT IN PLACE. THE SOIL MUST NOT BE WET DURING WMTS INSTALLATION.
- NO STANDING WATER IN THE WMTS AREA IS ALLOWED.
- EXCAVATED TRENCH MATERIAL MUST BE PLACED ON THE EDGE OF THE TRENCHES AND PUSHED INTO PLACE BY A BALLOONER WHEEL, MAINTAINING AT LEAST SIX (6) INCHES OF FILL UNDER THE TRACKS.
- THE ABSORPTION TRENCHES SHALL BE CONSTRUCTED IN THE INSTANT MATERIAL.
- THE ENTIRE SURFACE OF THE SYSTEM SHALL BE PROVIDED / COVERED WITH A MINIMUM OF SIX (6) INCHES OF TOPSOIL MOUNDING TO ENHANCE RUNOFF FROM THE SYSTEM AND REDUCE SOILS.

OWTS INSPECTION PROCEDURE NOTES:

- PLEASE CALL THE MOCHA AT 753-5060 AT LEAST 24-HR IN ADVANCE TO SCHEDULE THE FOLLOWING INSPECTIONS:
- COMPLETE INSPECTION - BEFORE BACKFILLING, THE MOCHA WILL VERIFY ALL SYSTEM COMPONENTS ARE INSTALLED PER THE APPROVED PLAN AND MOCHA REQUIREMENTS.
- FINAL GRADE INSPECTION - THE MOCHA WILL VERIFY THERE IS ADEQUATE COVER OVER SYSTEM COMPONENTS AND SURFACE DRAINAGE IS ADEQUATE.
- IF YOU HAVE ANY QUESTIONS REGARDING THESE PROCEDURES, PLEASE CONTACT THIS OFFICE AT (585) 753-5060.



PRELIMINARY/FINAL SITE AND UTILITY PLAN
 PROJECT: PLANK ROAD - DEVLIN RESIDENCE
 LOCATION: MONROE COUNTY, NEW YORK STATE
 CLIENT: BRUCE DEVLIN
 DRAWING TITLE: SITE AND UTILITY PLAN

PROJECT MANAGER: M. JANDA
 PROJECT ENGINEER: J. JONES
 DRAWN BY: J. JONES
 DATE ISSUED: 11-14-23
 SCALE: AS SHOWN
 PROJECT NO.: 2775

PHILIP S. GORHAM PURCHASE, TOWNSHIP 13, RANGE 4, TOWN LOT 31, TAX MAP NUMBER 095.03-1-45.5
 DRAWING NO.: 01